

## **Building Permit Application Requirements:**

### **Accessory Dwelling Unit (e.g. Basement Apartment, Detached Unit)**

The following information is required at submission. Complete submissions can be processed within 15 business days. It is advisable to review the Zoning By-law for your property prior to submitting your application.

#### **Building Permit Application Checklist**

1. **Completed building permit application** consisting of:
  - “Schedule 1: Designer Information”
  - “Owner’s Authorization for Agent to Make an Application”, if applicable
  - Conservation Authority Approval, if applicable
  
2. **One (1) copy** (in .pdf format) of plans drawn to scale which shall include (at minimum):
  - **Site Plan** showing:
    - Entire property with lot dimensions
    - Location of dwelling(s) and all accessory structures
    - Landscaped areas, walking paths.
    - Number of parking spaces available on the property, with dimensions (incl. garage)
    - Locate exterior entrance to principal dwelling unit and to second suite.
    - Setbacks between proposed construction and property lines and other nearby structures: decks, sheds, septic (if applicable)
    - If property is serviced by a septic system, provide a septic analysis by a qualified company/individual evaluating the system for the potential increase in load. If changes to the system are required, a separate septic permit application is required.
  
  - **Existing Floor Plan**
    - Identify all existing construction.
    - Labelling of all rooms and shared areas
    - Floor area of unit/dimensions of each room
    - Smoke and CO alarm locations
    - Location of laundry facilities
    - Location of stairs
    - Means of egress.
  
  - **Proposed Floor Plan, Cross Section, Elevations**
    - Identify all proposed construction.

**General Building Inquiries:**  
buildingpermit@innisfil.ca  
705-436-3710

- Floor area of unit/dimensions of each room
- Smoke and CO alarm locations
- Window and door types, sizes, and location
- Labelled room names
- Location of proposed and existing plumbing (clearly labelled “new” or “existing”)
- Stair, furnace, laundry location (specify if laundry is shared)
- Location and construction of required fire separations, wall/ ceiling fire separation assembly/ cross section showing construction
- Location of duct smoke detector device to shut off power/fuel to furnace.
- Proposed means of egress and specify any shared common areas.
- Ceiling height(s) and all bulkhead locations and size or areas
- Exterior lighting location
- If constructing exterior stairs, provide plans. Show drainage tie-ins, frost protection (if applicable), guard/railing system, and number of risers. Note: if exterior stair results in the construction of a retaining wall 1m or higher or foundation underpinning, an engineered design is required.
- If egress window is proposed, provide details and cross section showing dimensions, direction of swing/opening of window and include window well details.
- Provide elevations of exterior walls where new windows or doors are proposed and provide exposed building face/limiting distance calculations.

**Notes:**

- The requirements to legalize a dwelling unit are significant and can be complex for those not familiar with the building code or local zoning requirements. We highly recommend that applicants reach out to a qualified designer (Architect, Engineer, or a qualified designer with a Building Code Identification Number (BCIN)) familiar with local additional dwelling unit design for assistance in preparing code-compliant drawings.
- This is a standard checklist, there may be additional items required depending on your scope of work.

***Applications are submitted through [Cloudpermit](#) - an online system to apply and track building permits, make payments, request inspections, and receive email updates on the building permit process.***

**Fees & Issuance:**

1. A non-refundable application fee is due at the time of application submission. The application fee will be credited to your total amount due prior to permit issuance.

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buildingpermit@innisfil.ca  
705-436-3710



Town of Innisfil  
**Community Development Standards Branch**  
2101 Innisfil Beach Road  
Innisfil, Ontario  
L9S 1A1  
705-436-3710

2. The balance of fees are due before the permit can be issued. You will receive a notification with your total and payment instructions. Once all fees are paid, the permit will be issued in [Cloudpermit](#).

Note: Fees are charged in accordance with the Town's Fees and Charges By-law and are subject to change.

**General Building Inquiries:**  
buildingpermit@innisfil.ca  
705-436-3710

**Nottawasaga Valley Conservation Authority**  
www.nvca.on.ca  
705-424-1479

**Lake Simcoe Region Conservation Authority**  
www.lsrca.on.ca  
905-895-1281



Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name		Unit no.	Lot/con.
Municipality	Postal code	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name		Firm	
Street address		Unit no.	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ( )	Fax number ( )	Cell number ( )	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
<input type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input type="checkbox"/> Building Structural	
<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House	
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings	
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems	
Description of designer's work			
D. Declaration of Designer			
I _____ declare that (choose one as appropriate): (print name)			
<input type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: _____ Firm BCIN: _____			
<input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____			
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have submitted this application with the knowledge and consent of the firm.			
_____		_____	
Date		Signature of Designer	

NOTE:

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) d). of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of authorization, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

**Owner's Authorization for  
Agent to Make an Application**



**Town of Innisfil  
Building Department**  
2101 Innisfil Beach Road,  
INNISFIL, ON L9S 1A1  
Tel : 705-436-3710  
1-888-436-3710  
Fax: 705-436-7120

Date: \_\_\_\_\_ Permit No.: \_\_\_\_\_

Proposed Work: \_\_\_\_\_

Location: \_\_\_\_\_

The undersigned, being the owner(s) of the above referenced property, authorizes

\_\_\_\_\_  
Applicant Name Address

to apply for a permit for the above referenced project on my behalf. I understand that I shall be responsible for the terms of the conditions contained in the permit.

(If owner is an INDIVIDUAL)

_____	_____
Owner's Name	Address
_____	_____
Owner's Signature	Phone No. / E-Mail

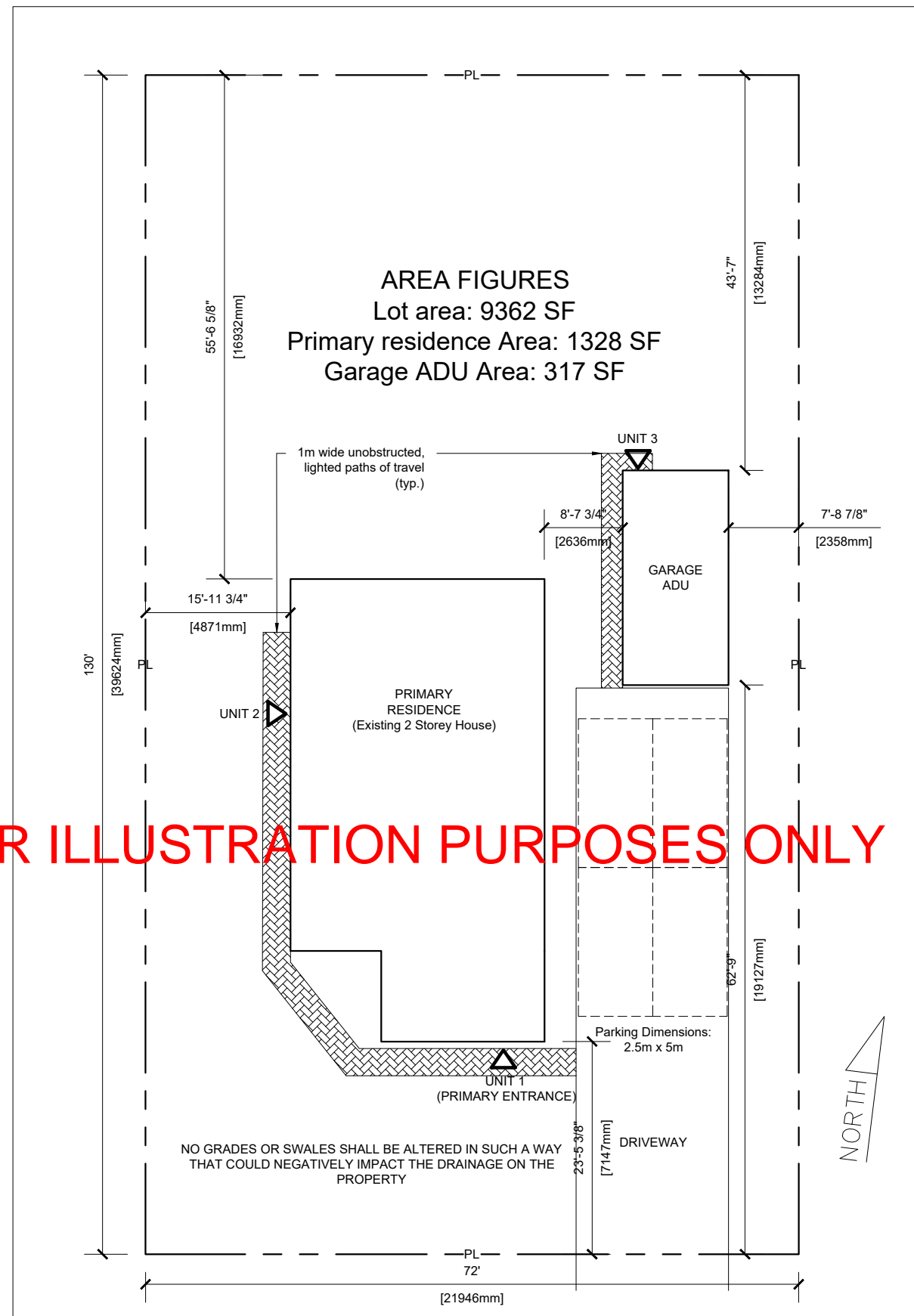
(If owner is a CORPORATION)

_____	_____
Owner's Name	Address
_____	_____
Name of Authorizing Officer	Phone No. / E-Mail
_____	
Signature of Authorizing Officer ( I have authority to bind the Corporation )	

ZONE R1 (Table 4.2a, Town of Innisfil Zoning By-law 080-13)	REQUIRED	PROPOSED LOT STATISTICS (SAMPLE FOR DEMONSTRATION)
LOT AREA	Minimum 600 Sq.M	9362 Square Feet (869 Sq.M)
Frontage	Minimum 17m	(21.9m)
Lot Coverage	Maximum 35%	17.6% <small>How to Calculate Lot Coverage: Lot coverage = <math>\frac{\text{area of structure footprint(deck, house, garage, etc)}}{\text{(divided by) area of lot}} \times 100\%</math></small>
Rear Yard Setback	(6m)	16.9m
Front Yard Setback	(6m)	7.1m
Side Yard Setback	(1m)	East: 2.3m; West: 4.8m
Parking	2 Dwelling Units = Existing acceptable 3 Dwelling Units - 4 Spaces Required	4 Spaces
BUILDING HEIGHT (max)	Max. 9m	Unit 1: 8.5m to peak
GFA	-	UNIT 1: 2656 SF (246.74sqm) UNIT 2: 602 SF (56 sqm) UNIT 3: 220SF (20.4sqm)

SAMPLE SITE PLAN FOR ILLUSTRATION PURPOSES ONLY

ACCESSORY USES, BUILDINGS AND STRUCTURES		
Accessory Building Height	9m	Unit 3 (Existing Garage): 3.7m
Minimum Front Yard Setback	6m	19.1m
Minimum Side Yard Setback	Interior: 1m Exterior: 3m	(Interior lot) 1m
Minimum Rear Yard Setback	1m	13.3m



SITE PLAN: 1/16" = 1'0"



SAMPLE DRAWINGS BY TOWN OF INNISFIL

**DISCLAIMER:**

Drawings for information purposes only, where information differs, code applies, strongly encourage retaining the services of a qualified designer. This is not an exhaustive list, additional detail may be required to demonstrate compliance with the Building Code

This drawing is for sample purposes only and is not to be used as part of a building permit application.

It is highly recommended that applicants reach out to a qualified designer (BCIN, P.ENG, Arch) to assist in completing a code compliant design

STAMP WITH SIGNATURE (BCIN, P.ENG, ARCHITECT):



The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1. of the building code

NAME: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.5.1. of the building code

FIRM NAME: \_\_\_\_\_ BCIN

PROJECT:

GARAGE ADU

FINISHED UNIT  
APPROX 220 SF

ADDRESS:

123 Street, Town

PAGE NAME:

Floor Plans

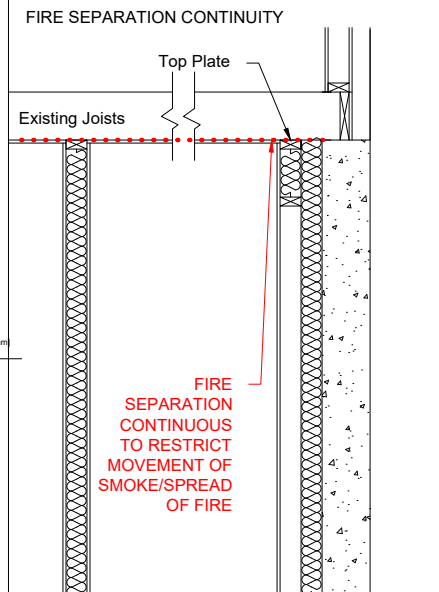
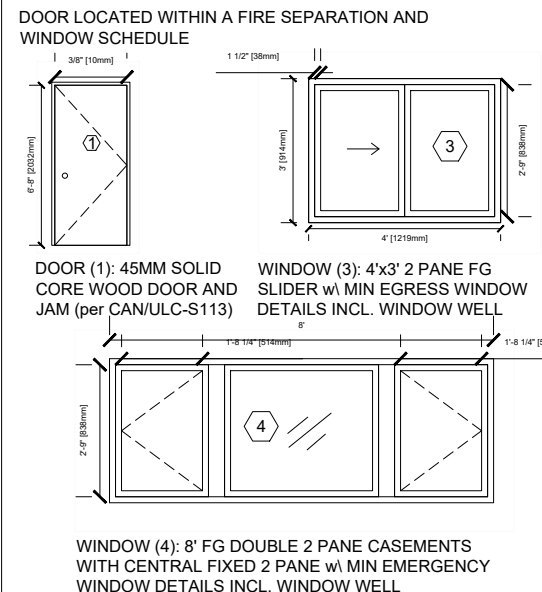
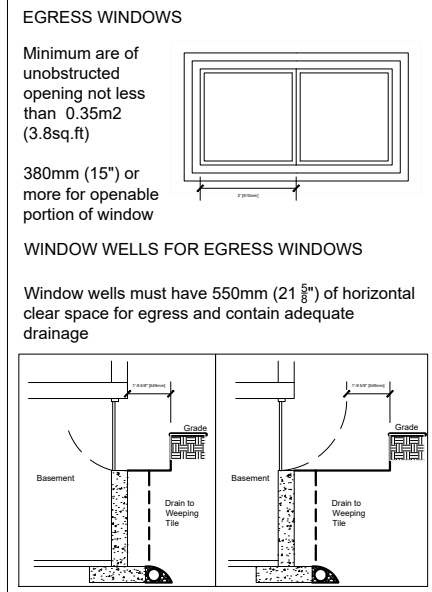
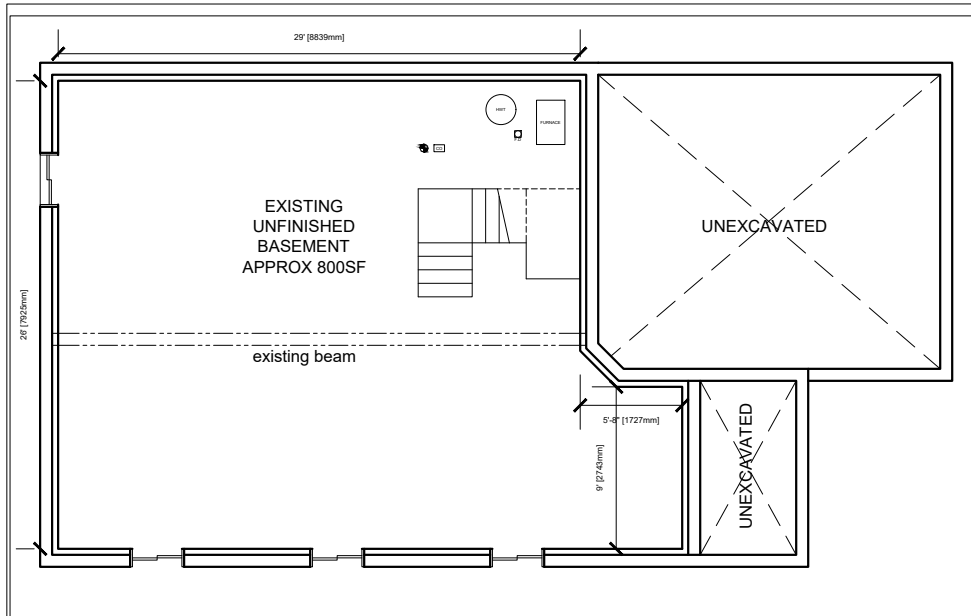
DESIGNER: Designer name

PAGE NUMBER:

SCALE: As Noted

DATE: APRIL 7, 2022

SP1



SAMPLE DRAWINGS BY TOWN OF INNISFIL

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It is highly recommended that applicants reach out to a qualified designer (BCIN, P.ENG, Arch) to assist in completing a code compliant design

1 Existing Basement Floor Plan  
A101 SCALE - 3/32" = 1'-0"

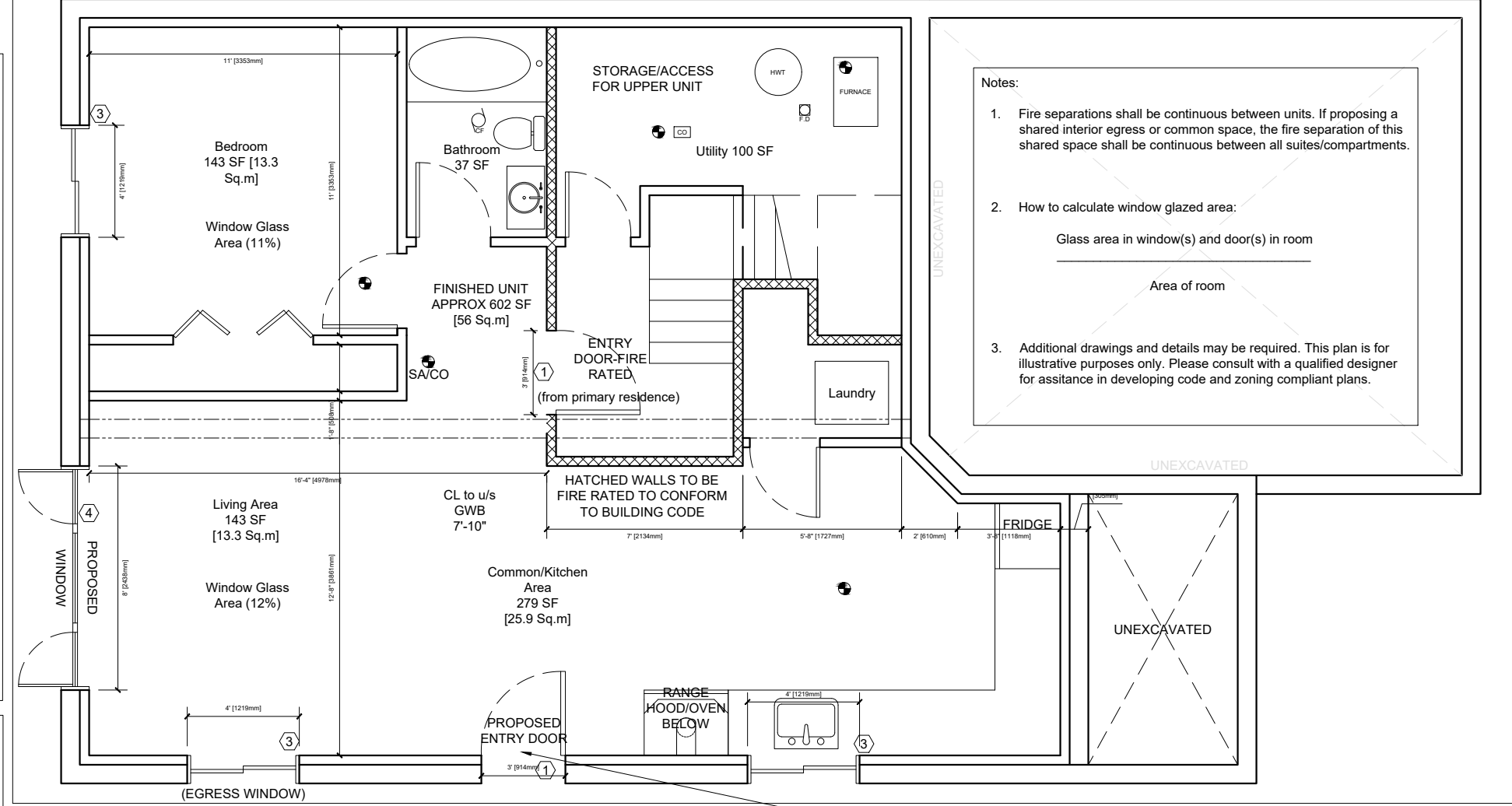
- Partial List of Requirements**
- The following (at minimum) should be indicated on your plans:
- Natural lighting requirements
  - Egress (window may be required where direct access to outdoors is not provided on the same floor)
  - Fire separation MUST be continuous between units. Provide a cross section indicating continuity. Wall and ceiling assembly must be indicated and specify a fire resistance rating (minutes) and sound transmission coefficient per OBC SB2/SB3. Indicate fire protection of structural posts and beams.
  - Fire dampers/fire stopping
  - Required facilities for each unit -laundry, etc.
  - Dimensions & area of each room
  - Ceiling Height (and location and height under bulkheads)
  - CO and Smoke Detectors
  - Duct type, smoke detectors where required - capable of turning off power and fuel upon detection of smoke in HVAC system.
  - Door and Window Schedule (sizes and dimensions)
  - Existing and Proposed Walls, age of Building, existing finishes.
  - Proposed bathroom layout, Proposed kitchen layout, and mechanical layout
  - Location of supply and return air dampers

Scope of Work: (include description of work and whether existing space is finished or unfinished)

Indicate age of building

Indicate any part 11 compliance alternatives being proposed (if it has been at least 5 years since Occupancy was granted and as applicable)

**SAMPLE DRAWING FOR ILLUSTRATION PURPOSES ONLY**



2 Proposed Basement Floor Plan  
A101 SCALE - 3/16" = 1'-0"

IF CONSTRUCTION OF AN EXTERIOR STAIR RESULTS IN A RETAINING WALL THAT IS GREATER THAN 1 METER, AN ENGINEERED DESIGN IS REQUIRED.

Drawings/Elevations required to clarify entry/stair construction (not covered in scope of this sample drawing)

STAMP WITH SIGNATURE (BCIN, P.ENG, ARCHITECT):

ONTARIO ASSOCIATION OF ARCHITECTS  
JOHN DOE LICENCE 0001  
PROVINCE OF ONTARIO

LICENSED PROFESSIONAL ENGINEER  
JOHN DOE LICENCE 0001  
PROVINCE OF ONTARIO

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1. of the building code

NAME: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.5.1. of the building code

FIRM NAME: \_\_\_\_\_ BCIN

PROJECT:

**Basement ADU**  
FINISHED UNIT  
APPROX 602 SF

ADDRESS:

123 Street, Town

PAGE NAME:

Floor Plans

DESIGNER: Designer name

SCALE: As Noted

DATE: APRIL 7, 2022

PAGE NUMBER:

**A101**